



SUBMITTING A PERMIT

- **Permit Application**

Applications are available online at www.newbergoregon.gov and City Hall.

Submit an application for the manufactured home and a **separate** application for carport, deck, shed and stair.

- **Site Plan (electronic)**

A bird's eye view of the lot showing existing and proposed structures, distance to property lines and other buildings, and elevations.

See page 3 and 4 for a sample plan and page 5 for requirements.

- **Construction Plan (electronic)**

Submit a construction plan for a carport, deck, shed, and stair.

A plan drawn to scale with dimensions.

A construction plan is not required for residential manufactured home placement. A Plan is required for placement on an individual lot, see page 5 for additional planning requirements.

- **Circle the Space Number on the Park Map and Submit**

See pages 7-15 for park maps.

- **Setbacks**

See page 6 for setback requirements.

- **Fees**

A fee is not required at submittal for a manufactured home application, instead fees are due at time of issuance. The plan review fee is due at submittal and the remaining fees are due at the time of issuance for the carport, deck, shed and stair application.

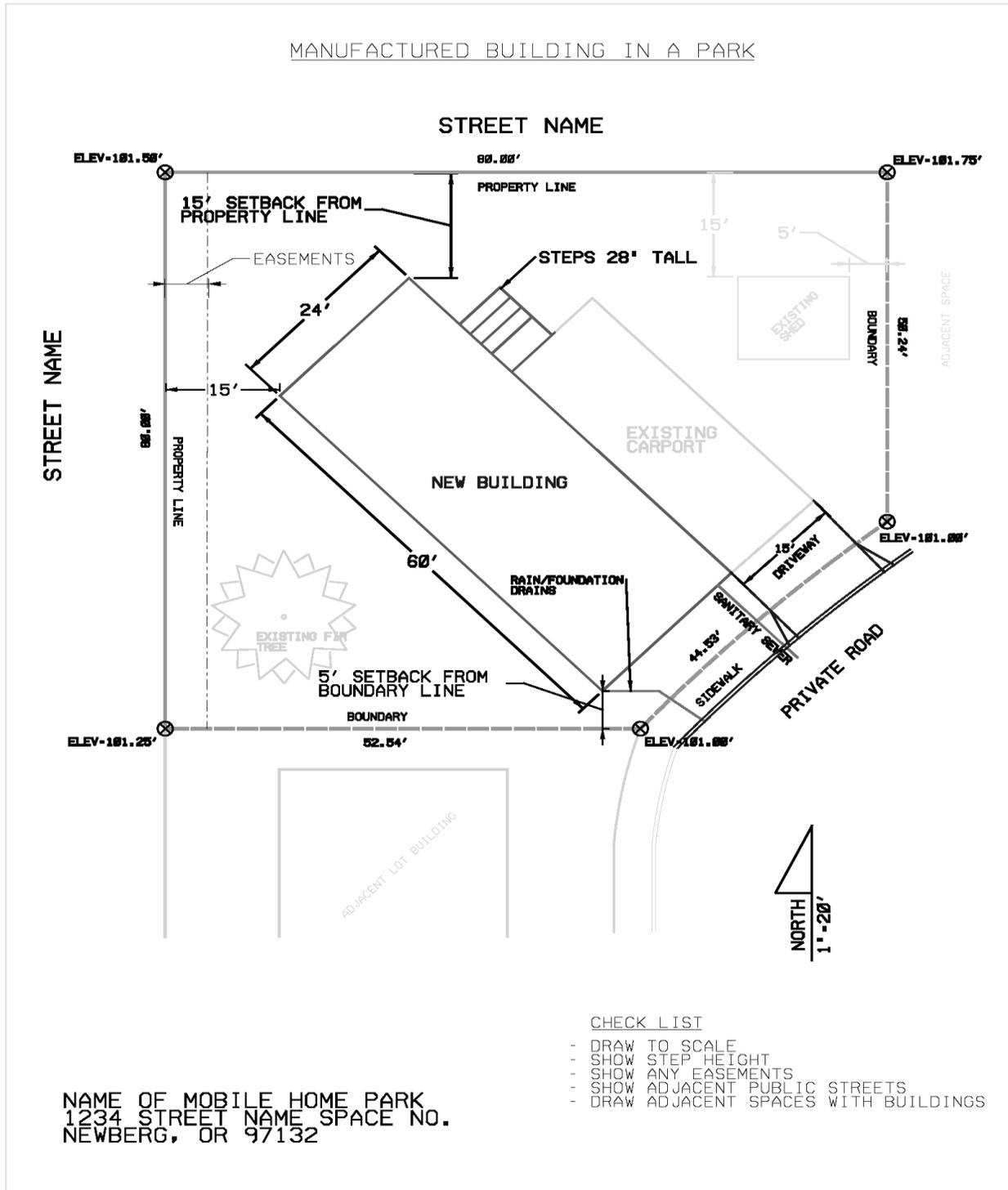
Sample fee brochure online at www.newbergoregon.gov.

INSPECTIONS

- **Call (503) 554-7714 for Inspections**

If the permit holder or the permit holders' agent fails to call for a setup inspection or causes the under floor area to be enclosed prior to the setup inspection, the permit holder or the permit holder agent shall remove the skirting prior to obtaining an inspection or hire a certified inspector to perform the set up inspection. A copy of the certified inspector's report shall be provided.

MANUFACTURED HOME SAMPLE SITE PLAN



SITE PLAN REQUIREMENTS - Not required to be prepared by a professional

- Location of the carport, deck, shed, and/or stair;
- Approximate elevations at each corner of the lot. If more than 12 inches show contour lines;
- Location of all excavations and fills on the lot;
- Approximate finish grade;
- Streets, easements, lot lines, setbacks, public sidewalks, and existing structures and adjacent spaces existing structures;
- Property lines, applies if you are on the perimeter of the park;
- Site drainage locations for water, sewer, storm and raindrains.

PLANNING REQUIREMENTS FOR INDIVIDUAL LOTS & PLANS

15.445.070 Manufactured Homes on Individual Lots – Development Standards

Manufactured homes and manufactured home duplexes on individual lots in all residential districts shall meet the following minimum standards:

- A. Each manufactured home which provides only one residential dwelling unit shall enclose a space of not less than 1,000 square feet. Manufactured homes which provide two residential dwelling units (duplex) shall enclose a combined space of not less than 1,800 square feet. Each individual dwelling unit must be multisectional.
- B. Each manufactured home shall be placed on an excavated and back-filled foundation and enclosed on the perimeter such that the chassis shall be located not more than 12 inches above grade and any axles or other transportation mechanisms shall be removed.
- C. Each manufactured home shall have a roof slope no less than three feet in height for every 12 feet in width.
- D. Each manufactured home shall have exterior siding and roofing which in color, material, and appearance is the same as at least three other dwelling units within 500 feet of the property or similar to the exterior siding and roofing material commonly used on “stick-built” residential dwelling units within the community or which is comparable to the predominant materials used on surrounding dwelling units as determined by the director.
- E. All manufactured homes shall be certified by the manufacturer to have an exterior thermal envelope meeting performance standards which reduce levels equivalent to the performance standards required of single-family dwelling units constructed under the State Building Codes defined in ORS 455.010.
- F. All dwelling units shall have a carport or garage constructed of like materials. A garage shall be provided where at least 50 percent of the dwelling units on abutting lots, including lots directly across the street, have garages.
- G. Manufactured homes shall not be located immediately adjacent to, have a common property line with, or be separated only by a street from historic resources listed on the final inventory of historic resources in the comprehensive plan.

Effective January 1, 1999, Oregon Administrative Rule (OAR) 918-500-0060 requires plot/site plans to be submitted with every manufactured building permit application.

MINIMUM FIRE SEPARATION INSIDE PARKS - BUILDING SETBACKS - TABLE 9-A

| Minimum Setbacks & Clearances Studying | Manufactured Dwellings | Accessory Buildings | Accessory Structures | Garages | Cabanas |
|--|------------------------|---------------------|----------------------|-------------|-------------|
| Property Line (4) | 5 feet (6) | 5 feet | 5 feet | 5 feet | 5 feet |
| Public Street (4) | 10 feet | 10 feet | 10 feet | 10 feet | 10 feet |
| Park Street | 5 feet | 5 feet | 5 feet | 5 feet | 5 feet |
| Park Sidewalk | 2 feet | 2 feet | 0 feet | 2 feet | 2 feet |
| Manufactured Dwelling on Same Lot | Not Permitted (6) | 3 feet (3) | 0 feet | 6 feet (3) | 0 feet |
| Manufactured Dwelling on Adjacent lot | 10 feet (7) | 6 feet (3) | 6 feet (3) | 6 feet | 10 feet |
| Building on the Same Property Inside the Park | 10 feet (3) | 6 feet (3) | 6 feet(3) | 10 feet (3) | 10 feet (3) |
| Building on Adjacent Properties Outside the Park | 10 feet (3) | 10 feet (3) | 3 feet (3) | 10 feet (3) | 10 feet (3) |
| Accessory Buildings (1) on Same Lot | 3 feet (3) | 3 feet (3) | 0 feet | 3 feet (3) | 3 feet (3) |
| Accessory Buildings(1) on Adjacent Lot | 6 feet | 6 feet (3) | 6 feet (3) | 6 feet (3) | 6 feet (3) |
| Accessory Structures (2), (5) on Same Lot | 0 feet | 0 feet | 0 feet | 0 feet | 0 feet |
| Accessory Structures (2), (5) on Adjacent Lot | 6 feet (3) | 6 feet (3) | 6 feet (3) | 6 feet (3) | 6 feet (3) |
| Garage (1) on Same Lot | 6 feet (3) | 3 feet (3) | 0 feet | 0 feet | 6 feet (3) |
| Garage (1) on Adjacent Lot | 6 feet | 6 feet (3) | 6 feet (3) | 6 feet (3) | 6 feet |
| Cabana (1) on Same Lot | 0 feet | 3 feet (3) | 0 feet | 6 feet(3) | 6 feet (3) |
| Cabana (1) on Adjacent Lot | 10 feet | 6 feet (3) | 6 feet (3) | 6 feet | 10 feet |

- Notes:**
- (1) Accessory buildings include storage sheds and similar structures used in conjunction with manufactured dwellings, but for the purpose of this table only, shall not include garages or cabanas since their fire separations are different.
 - (2) Accessory structures include decks, landings, guard rails, hand rails, steps, ramps, awnings, carports, and similar structures used in conjunction with manufactured dwellings, but for the purpose of this table only, shall not include skirting or ramadas since their fire separation requirements are not applicable to this table.
 - (3) See Section 9-5.3 of this Chapter for alternate setbacks and clearances. With prior approval from the authority having jurisdiction, those fire separations noted in this table may be further reduced with the use of fire resistive construction according to the prescriptive requirements contained in the Oregon One and Two Family Dwelling Specialty Code.
 - (4) Setbacks from perimeter property lines and public streets may be greater than those dimensions shown in this table. See the individual municipalities planning ordinances for further restrictions.
 - (5) Setbacks and clearances addressed in this table shall be measured to the exterior wall for the structure and shall not include the eave overhangs except for awnings and carports.
 - (6) These noted setbacks and clearances are established by Oregon Revised Statute and shall not be reduced and shall not be given a variance from the authority having jurisdiction.

AVALON

1500 Sandoz – Zoning: R-2



AZALEA GARDENS MOBILE MANOR

1103 N Springbrook Rd – Zoning: R-2



CHEHALEM MOBILE PARK

211 Old Hwy 99W – Zoning: R-2



MOUNTAINVIEW PARK

2901 E Second St – Zoning: R-2



NEWBERG MOBILE PARK LLC

501 E Illinois – Zoning: R-2



NUT TREE RANCH MOBILE ESTATES



2902 E Second St – Zoning: R-2



MANUFACTURED HOME



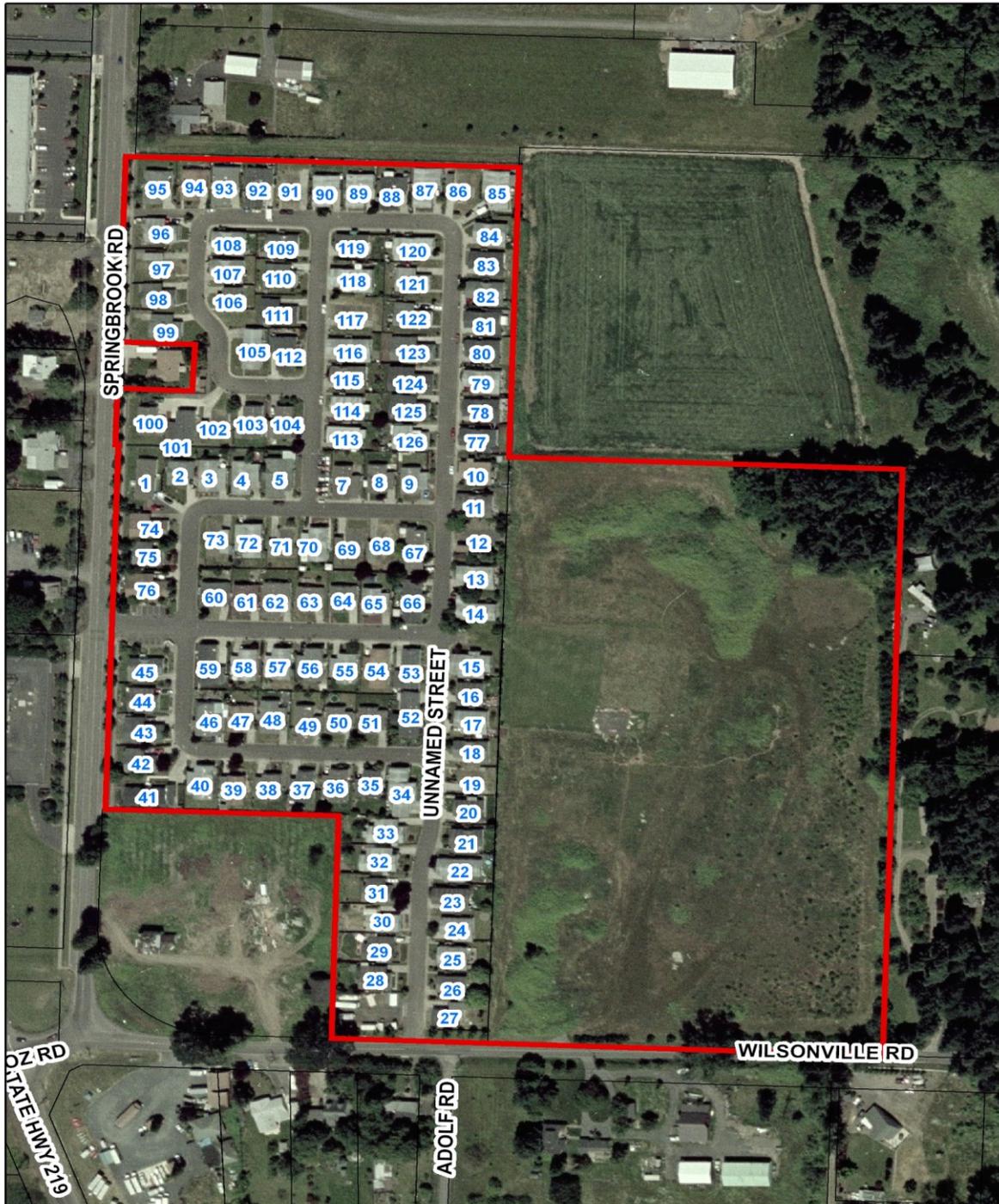
RIDGEVIEW VILLAGE

301 E Columbia Dr – Zoning: R-2



SPRINGBROOK ESTATES

1000 S McKern Ct – Zoning: R-2



SUNSET ESTATES

300 S Everest – Zoning: R-3

